



## Design Review Subcommittee (DRSC)

Meeting Date: May 12, 2021

**PLANNER:** Stephanie Roxas, Senior Planner

**SUBJECT:** Master Project 21-002, Project Summer, APNs 688-151-03 and 688-151-04, a request to develop a 104,947 square foot e-commerce delivery station with a delivery van queuing area and parking storage for fleet automobiles and vans in the Rancho San Clemente Business Park.

### **BACKGROUND:**

The project site is comprised of two vacant parcels totaling 20.38 acres. The site was previously graded. The parcels are located at the terminus of Calle Cordillera and Calle Sombra in the Rancho San Clemente Business Park. The site is located in the Rancho San Clemente Specific Plan within the Business Park Planning Area and Light Industrial (I2) General Plan Land Use Designation.

As illustrated in Figure 1 below, the properties are surrounded by light industrial, warehouse, office, and limited conditionally permitted uses in the surrounding business park. The Rancho San Clemente public trail runs along a portion of the southern property boundary. The trail is located on private property owned by the Rancho San Clemente Business Association. Residential neighborhoods are located to the south of the project site, above the ridgeline, over 400 feet away. These neighborhoods include single-family residential and multi-family residential homes within Rancho San Clemente.

**Figure 1 – Aerial View**



### ***Why is DRSC Review Required?***

The project requires applications for a Site Plan Permit, Architectural Permit, and Discretionary Sign Permit. The Zoning Ordinance requires DRSC review for all three applications. The project is subject to Planning Commission approval.

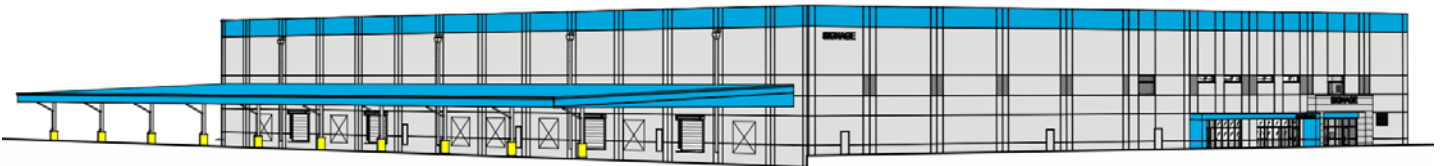
The purpose of this DRSC review is to provide the applicant with preliminary comments early in the application process. The current application is missing materials needed to fully assess the potential aesthetic impacts of the project. The purpose of this initial DRSC review is to allow the Subcommittee to broadly comment on the project and to request any specific exhibits or materials that will be needed to conduct a full architectural review.

### **PROJECT DESCRIPTION:**

The applicant, Derek Meddings of Greenlaw Partners, proposes to construct a 104,947 square foot concrete tilt-up single-story warehouse building with supporting office area and break room. The proposed facility is being designed for a package delivery service. Packages arriving at this facility are prepackaged in cardboard boxes and labeled for shipping within local neighborhoods and areas surrounding the facility. The packages are brought into the facility via tractor trailer trucks, who use designated loading dock positions. Once unloaded into the facility, the packages are sorted into more specific locations, put into bins and onto small mobile carts, from which the packages are loaded into vans for final delivery.

The proposed building, illustrated in Figure 2 below, is 45 feet tall measured to the top of the parapet. The concrete tilt-up building has several accent colors in blue and gray. A painted metal canopy is proposed over the truck loading dock. The site will be surrounded by a wrought iron boundary fence measuring 8'-0" in height.

**Figure 2 – 3D Building Elevation**



### **ANALYSIS:**

The Rancho San Clemente Specific Plan has Design Guidelines for its business park and industrial park. These guidelines are provided as Attachment 1. The City Design Guidelines provide guidance for industrial development only in the Los Molinos area. However, the City Design Guidelines state: "Industrial development should be carefully sited and designed with concern for views from public streets, public places, and neighboring commercial and residential districts." In general, staff has taken a similar approach in evaluating the project's aesthetics and design. While staff does not have

specific recommendations for the building architecture, particular attention is being given to public views and potential impacts to nearby residential neighborhoods.

With the exception of building height, the proposed project complies with all development standards of the Zoning Ordinance and Rancho San Clemente Specific Plan. The maximum building height for the Business Park zoning district is 35 feet. The roof height slightly exceeds that, and the top of parapet is 45 feet. However, the Specific Plan allows for administrative adjustments. Specifically, it states: "In order to foster design creativity and innovation, the Planning Division may grant administrative adjustments to the standards." The applicant intends to provide additional justification to support their adjustment request. The proposed building and parapet height will be evaluated as part of the discretionary review process, but at this time, there is insufficient information to assess it during this current review.

### **RECOMMENDATIONS:**

To fully evaluate the potential impacts of the project, and in order for the Subcommittee to conduct a full architectural review, staff is recommending the applicant submit the following:

1. Submit renderings from key public vantage points, including from the Rancho San Clemente public trail. The Subcommittee may request specific perspectives.
2. Provide a photometric study and lighting details to demonstrate the project is consistent with the City's Dark Skies policies.
3. Provide a separate Master Sign Program with additional detail on all proposed monument and wall signage.

Staff seeks concurrence from the Subcommittee on the recommendations above, and welcomes additional feedback related to the project's architecture, design, landscaping, and potential aesthetic impacts. The applicant will revise the application package pursuant to the recommendations provided by staff and the Subcommittee, and the project will return for a second DRSC review at later date.

### **Attachments:**

1. Excerpt of Rancho San Clemente Specific Plan – Design Guidelines
2. Project Plans

**Excerpt of Rancho San Clemente Specific Plan**

- G. Parking Lot Buffering - There should be a buffer area of at least five (5) feet between buildings and parking areas or driveways, in order to avoid placing paved vehicular areas next to building walls. These buffer areas should be landscaped or designed as pedestrian walkways with landscaped planters. Parking areas should be screened from the street by landscaping and berming.
- H. Parking Lot Entries - Parking lot entries should be located as far as possible from intersections in order to minimize congestion and conflicts. For projects on major or primary arterials, or where otherwise determined necessary by the City, full curb return street intersection type entries should be used instead of standard driveway approaches. Major entries should be at least thirty (30) feet wide and all entries should be at least two hundred (200) feet apart.
- I. Screening of Service Areas - Service and storage areas and trash enclosures should be screened from public view by means of walls and landscaping.

**III. BUSINESS PARK/INDUSTRIAL PARK**

- A. Pedestrian Orientation - The siting of buildings around common pedestrian walkways is encouraged. Pedestrian walkways should be provided connecting individual buildings.
- B. Outdoor Lighting - Parking lot and outdoor lighting should be the minimum needed to accommodate safety and security, while minimizing impacts on surrounding residential areas. Decorative fixtures with shields to direct light downward should be used for overhead lighting. Bollard or other low-height lighting should be used whenever possible for pedestrian areas. Light fixture design should be consistent with the character of the project.
- C. Project Identification Signs - Projects should be identified by low-level monument signing in order to provide business center identification. Such signs may include logos and should be harmonious in scale, form, materials, and colors with project buildings, walls, and other structures. Signs must comply with the Sign Ordinance.
- D. Variations in Building Footprint - Building footprints should be designed with variations composed of insets, entries, corners, and jogs integrated with adjacent outdoor areas in order to create visual interest and give a sense of small scale.
- E. Parking Lot Buffering - There should be a buffer area of at least five (5) feet between buildings and parking areas or driveways in order to avoid placing paved vehicular areas next to building walls. Except where there are

walkways, this buffer area should be landscaped. Parking and circulation areas should be screened from the street by landscaping and berming.

- F. Screening of Service Areas - Service and storage areas and trash enclosures should be screened from public view by means of walls and landscaping.

# PROJECT SUMMER

## CALLE SOMBRA SAN CLEMENTE, CALIFORNIA 92672

### ATTACHMENT 2

#### SHEET INDEX

##### ARCHITECTURAL

- A0.0 TITLE SHEET
- A0.4 VICINITY MAP
- A0.4a ZONING MAP
- A0.5 OVERALL SITE PLAN
- A0.5 a PARTIAL SITE PLAN - AREA A
- A0.5 b PARTIAL SITE PLAN - AREA B
- A0.9 OVERALL GROUND FLOOR OCCUPANCY & EGRESS PLAN
- A0.9a MAIN OFFICE ENLARGED OCCUPANCY & EGRESS PLAN
- A2.11 EXTERIOR ELEVATIONS
- A2.12 EXTERIOR ELEVATIONS
- A2.14 ENLARGED CANOPY PLANS
- A5.10 SITE DETAILS
- A5.11 SITE DETAILS
- ARCHITECTURAL SHEET COUNT: 13

##### LANDSCAPE

- L-1 CONCEPTUAL PLANTING PLAN
- L-2 CONCEPTUAL IRRIGATION PLAN
- L-3 PLANTING IMAGERY
- LANDSCAPE SHEET COUNT: 3

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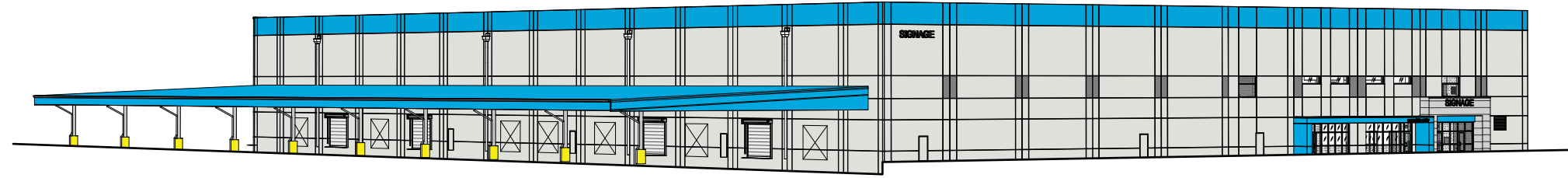
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SAN CLEMENTE, CALIFORNIA 92672

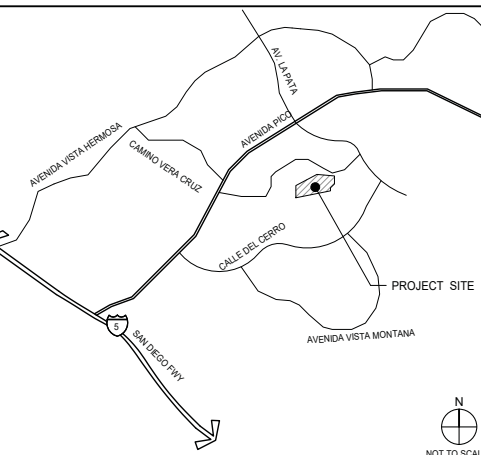
TITLE SHEET	
REVISIONS	
DATE	

PAP/PM	N. PATEL
DRAWN BY:	J.E.
JOB NO.:	IRV20-5040-00

SHEET  
**A0.0**  
5/4/2021 1:37:39 PM



#### VICINITY MAP



#### PROJECT TEAM

<b>DEVELOPER</b> <b>GREENLAW PARTNERS</b> 1831 VON KARMAN, SUITE 250 IRVINE, CALIFORNIA 92612 SCOTT MURRAY PH: (949) 331-1380 scot@greenlawpartners.com	
<b>GENERAL CONTRACTOR</b> T.B.D.	
<b>ARCHITECT</b> <b>WARE MALCOMB</b> 10 EDELMAN IRVINE, CALIFORNIA 92618 NIRAJ PATEL P 949.660.9128 npatel@waremalcomb.com	

#### TENANT'S CONSULTANTS

<b>TELECOMMUNICATIONS</b> IES COMMUNICATIONS, LLC. 2801 SOUTH FAIR LANE TEMPE, ARIZONA 85282	<b>LANDSCAPE ENGINEER</b> IMA 5281 CLAIFORNIA AVE, SUITE 550 IRVINE, CALIFORNIA 92617 BLAIR EVANS PH: (949) 854 - 7514 bevana@imadesign.com
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#### PROJECT DATA

PROJECT SUMMER - APNS 888-151-03 AND 888-151-04	
ZONING: LIGHT INDUSTRIAL	
WAREHOUSE (S-1)	93,251 S.F.
MEZZANINE (BREAKROOM A-2/BUSINESS B)	7,968 S.F.
OFFICE (B)	3,728 S.F.
<b>TOTAL BUILDING AREA</b>	<b>104,947 S.F.</b>

#### PERMIT SCOPE

- SCOPE OF WORK UNDER THIS PERMIT:**
- NEW 112,138 SF TYPE IIB, CONCRETE TILT-UP SINGLE STORY WAREHOUSE BUILDING (S-1 OCC.) WITH SUPPORTING OFFICE AREA (B OCC.) AND BREAK ROOM (A-2 OCC.). (SEE BUILDING AREA TABULATIONS BELOW)
  - THE PROPOSED FACILITY IS BEING DESIGNED FOR A PACKAGE DELIVERY SERVICE. PACKAGES ARRIVING AT THIS FACILITY ARE PREPACKAGED IN CARDBOARD BOXES AND LABELED FOR SHIPPING WITHIN LOCAL NEIGHBORHOODS AND AREAS SURROUNDING THE FACILITY. THE PACKAGES ARE BROUGHT INTO THE FACILITY VIA TRACTOR TRAILER TRUCKS, WHO USE DESIGNATED LOADING DOCK POSITIONS. ONCE UNLOADED INTO THE FACILITY, THE PACKAGES ARE SORTED INTO MORE SPECIFIC LOCATIONS, PUT INTO BINS AND ONTO SMALL MOBILE CARTS, FROM WHICH THE PACKAGES ARE LOADED INTO VANS FOR FINAL DELIVERY. THERE IS NO HIGH BAY RACKING/HIGH PILED STORAGE IN THE FACILITY. NO HAZARDOUS MATERIALS WILL BE HANDLED OR STORED AT THE FACILITY. THE COMMODITY CLASSIFICATION IS CLASS I-IV, CARTONED, UNEXPANDED GROUP A PLASTICS.
  - ASSOCIATED MECHANICAL, ELECTRICAL AND PLUMBING IMPROVEMENTS TO SUPPORT THE STRUCTURE AND MATERIAL HANDLING EQUIPMENT.
  - ASSOCIATED SITE IMPROVEMENTS TO BUILDING AREA (SEE SITE PLAN ON A0.5)







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**PROJECT SUMMER**

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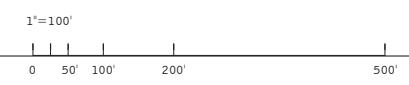
ZONING MAP

DATE	REMARKS

PAP/M:	N. PATEL
DRAWN BY:	J.E.
JOB NO.:	IRV20-5040-00

SHEET

**A0.4a**



ZONING MAP  
SCALE: 1" = 100'-0"













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**PROJECT SUMMER**  
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**OVERALL GROUND FLOOR OCCUPANCY & EGRESS PLAN**

DATE	REVISIONS
03/16/2021	DISCRETIONARY PERMIT REVIEW

PAP/M: N.PATEL  
DRAWN BY: J.E.  
JOB NO.: IRV20-5040-00

**GENERAL NOTES**

- SEE SHEET G0.2 & G0.2a FOR GENERAL NOTES
- POSTED SIGNS IN AN ASSEMBLY OCCUPANCY SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. SIGN OCCUPANCY SHALL MATCH OCCUPANCY INDICATED AT ASSEMBLY PERMIT TO BE OBTAINED BY THE TENANT. PER IBC OCCUPANCY LOAD SIGNS SHALL BE POSTED NEAR THE MAIN ENTRANCE/EXIT OF THE ROOM.
- COORDINATE LOCATION OF FIRE EXTINGUISHERS WITH OWNERS EQUIPMENT.
- WHERE DRESSING, FITTING AND LOCKERS ROOMS ARE PROVIDED, AT LEAST FIVE PERCENT (5%), BUT NOT FEWER THAN ONE OF EACH TYPE OF USE IN EACH CLUSTER PROVIDED SHALL COMPLY WITH ICC/ANSI A 117.1-2009 SECTION 803.4B(5) (60).
- PER TENANTS MHE LAYOUT, CONVEYOR ELEVATIONS VARY. EGRESS ROUTE GOES UNDER OR OVER CONVEYOR IN THE LOCATIONS SHOWN.

**GENERAL EXIT SIGNAGE NOTES**

- ALL WAREHOUSE EXIT SIGNAGE AT EXIT DOOR SHALL BE INSTALLED PER DETAILS ON IS.19 (STANDARD HEIGHT).

**KEYNOTES :**

- SEE SHEETS G0.2 & G0.2a FOR GENERAL NOTES
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL WALL-MOUNTED TACTILE SIGNS AT LOCATION INDICATED.

**EGRESS ANALYSIS**

FUNCTION SPACE OCCUPANCY	(N) GROSS AREA (SF)	(N) AREA PER OCC. FACTOR (O/L)	(O/L) * (N) OCCUPANT LOAD	NUMBER OF EXITS REQUIRED (O/L)	NUMBER OF EXITS PROVIDED (PER PLAN)	DOOR (AND OTHER) WIDTH (O/L) (PER IBC 1009.3.2)	NUMBER OF # OF CLR EXITS PROVIDED (PER PLAN)	NUMBER OF # OF CLR EXITS PROVIDED (PER PLAN)	TOTAL DOOR WIDTH PROVIDED
WAREHOUSE S-1	92,344	500	185	2	185	37"	10	1	360"

**EXIT WIDTH SUMMARY**

**WAREHOUSE AREA**  
EACH WAREHOUSE EXIT HAS A 32" CLEAR WIDTH EGRESS DOOR = 160 OCCUPANT CAPACITY PER LEAF.  
10 EXITS \* 160 OCCUPANTS EACH = 1600 OCCUPANT CAPACITY.  
TOTAL WAREHOUSE AREA OCCUPANT LOAD = 185 WAREHOUSE OCCUPANTS. 185 < 1600 THEREFORE, OK.

**OFFICE AREA**  
EXITS HAVE 32" AND 64" CLEAR WIDTH EGRESS DOORS = 160 OCCUPANTS CAPACITY PER DOOR LEAF.  
5 DOOR LEAFS \* 160 OCCUPANTS EACH = 800 OCCUPANTS CAPACITY.  
TOTAL OCCUPANT LOAD FOR OFFICE = 106 OFFICE OCCUPANTS. 106 < 800 THEREFORE, OK.

**ASSEMBLY AREA**  
1 ASSEMBLY EXIT HAS A 32" CLEAR WIDTH EGRESS DOOR = 160 OCCUPANT CAPACITY PER LEAF WITH 200 STAIR CAPACITY. 2ND ASSEMBLY EXIT HAS 310 OCCUPANT CAPACITY.  
2 EXITS = 470 OCCUPANTS CAPACITY.  
TOTAL ASSEMBLY AREA OCCUPANT LOAD = 202 ASSEMBLY OCCUPANTS. 202 < 470 THEREFORE, OK.

**MAX. TRAVEL DISTANCE TO EXITS**

MAXIMUM TRAVEL DISTANCE TO EXITS (1017.2 SPRINKLERED BUILDING)

AREA	MAX. FEET MAX.
ASSEMBLY	250 FEET MAX.
B-BUSINESS (OFFICE)	300 FEET MAX.
S-1 STORAGE (MODERATE-HAZARD WAREHOUSE)	400 FEET MAX.

\*PER CBC SECTION 1017.2.2, GROUP F-1 AND S-1 INCREASE

COMMON PATH OF TRAVEL (1006.2.1 SPRINKLERED BUILDING)

AREA	MAX. FEET MAX.
ASSEMBLY	75 FEET MAX.
B-BUSINESS (OFFICE)	100 FEET MAX.
S-1 STORAGE (MODERATE-HAZARD WAREHOUSE)	100 FEET MAX.

**RESTROOM SUMMARY**

FIXTURES REQUIRED (BASED ON CPC TABLE 422.1):

	WC/M	WC/W	URINALS	WASHROOM	WASHROOM	DRINKING FOUNTAINS	SERVICE BAYS
OFFICE	7,246 S.F. / 200 = 36	/ 2 = 18	1	2	1	1	1
ASSEMBLY	2,897 S.F. / 30 = 96	/ 2 = 48	1	2	1	1	1
WAREHOUSE	92,344 S.F. / 5,000 = 18	/ 2 = 9	1	0	1	1	1
TOTAL REQUIRED			3	5	2	3	3
TOTAL PROVIDED			3	7	4	5	4

**LEGEND**

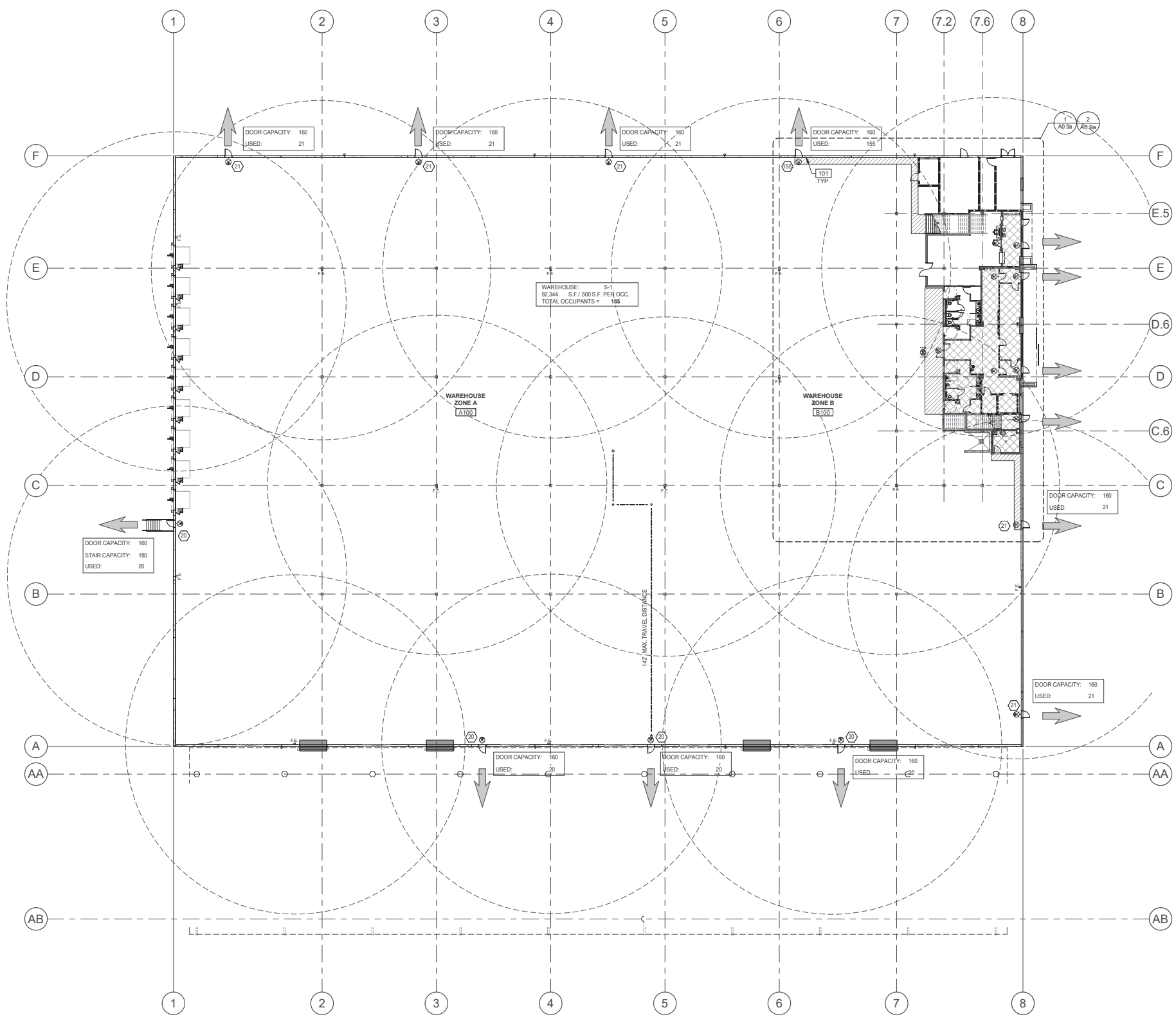
ASSEMBLY FUNCTION	2,897 S.F. / 15 = 193 (O/L)
BUSINESS FUNCTION	5,635 S.F. / 150 = 37 (O/L)
UTILITY FUNCTION	1,831 S.F. / 300 = 6 (O/L)
BUSINESS FUNCTION	868 S.F. / 20 = 43 (O/L)
BUSINESS FUNCTION	743 S.F. / 50 = 15 (O/L)
UNOCCUPIED WAREHOUSE	92,344 S.F. / 500 = 185 (O/L)

--- MAXIMUM TRAVEL DISTANCE.

← REQUIRED EXIT

WALL-MOUNTED ILLUMINATED EMERGENCY EXIT SIGN ABOVE DOOR WITH BATTERY POWERED BACK-UP. SHADED QUADRANT INDICATES FACE OF LETTERING.

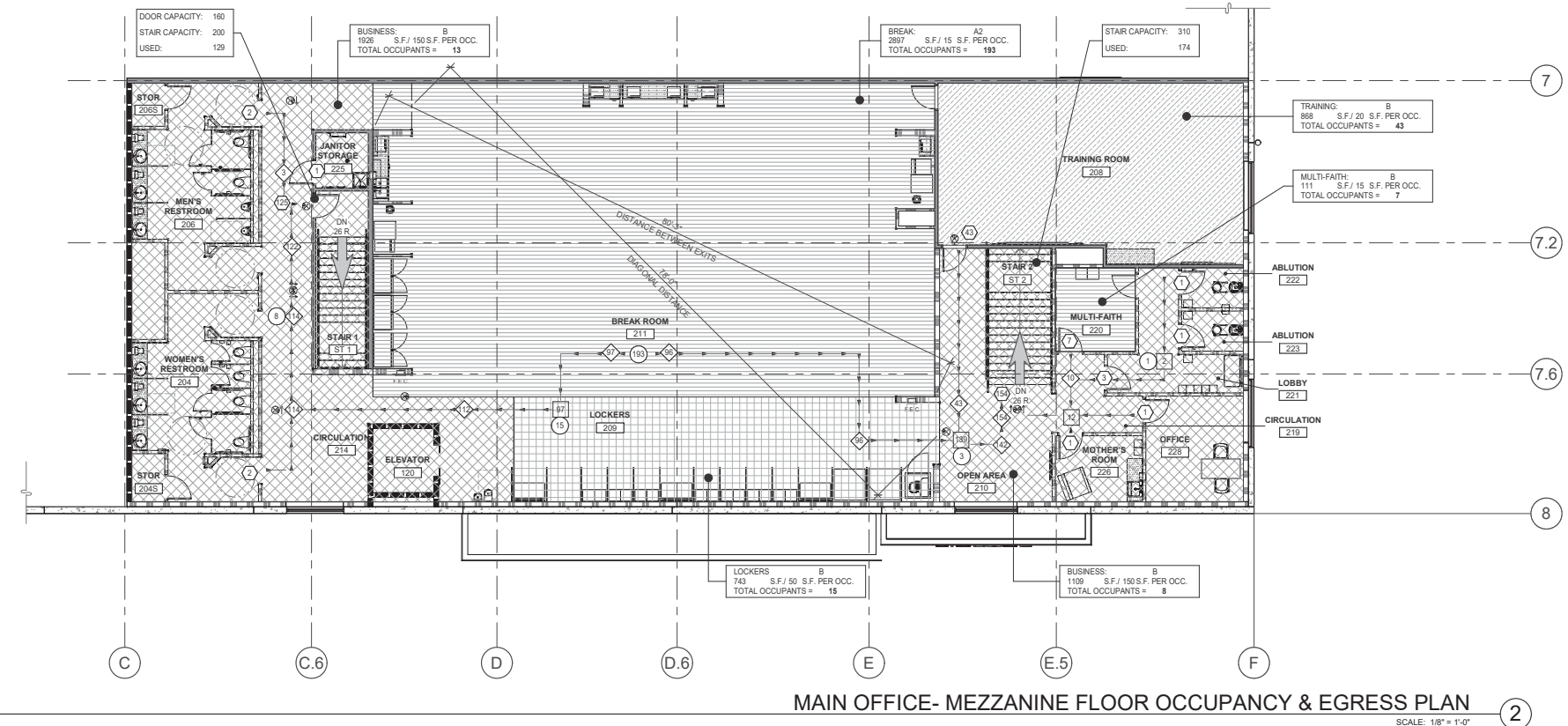
ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR.



1"=20'  
0 10' 20' 40' 100'

**OVERALL GROUND FLOOR OCCUPANCY & EGRESS PLAN**





**MAIN OFFICE- MEZZANINE FLOOR OCCUPANCY & EGRESS PLAN** SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- SEE SHEET G0.2 & G0.2a FOR GENERAL NOTES
- POSTED SIGNS IN AN ASSEMBLY OCCUPANCY SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. SIGN OCCUPANCY SHALL MATCH OCCUPANCY INDICATED AT ASSEMBLY PERMIT TO BE OBTAINED BY THE TENANT. PER IBC OCCUPANCY LOAD SIGNS SHALL BE POSTED NEAR THE MAIN ENTRANCE/EXIT OF THE ROOM.
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- PER TENANTS MHE LAYOUT, CONVEYOR ELEVATIONS VARY. EGRESS ROUTE GOES UNDER OR OVER CONVEYOR IN THE LOCATIONS SHOWN.

**GENERAL EXIT SIGNAGE NOTES**

- ALL WAREHOUSE EXIT SIGNAGE AT EXIT DOOR SHALL BE INSTALLED PER DETAILS ON 15.19 (STANDARD HEIGHT).

**KEYNOTES :**

- SEE SHEETS G0.2 & G0.2a FOR GENERAL NOTES
- DISCRETE PATH OF EGRESS ROUTE THROUGH WAREHOUSE, 44" MIN. WIDTH.
  - LINE OF MEZZANINE ABOVE.

**MAX. TRAVEL DISTANCE TO EXITS**

MAXIMUM TRAVEL DISTANCE TO EXITS (1017.2 SPRINKLERED BUILDING)	(1017.2 SPRINKLERED BUILDING)
ASSEMBLY	250 FEET MAX.
BUSINESS (OFFICE)	300 FEET MAX.
S-1 STORAGE (MODERATE-HAZARD WAREHOUSE)	400 FEET MAX.
*PER CBC SECTION 1017.2.2, GROUP F-1 AND S-1 INCREASE	
COMMON PATH OF TRAVEL (1006.2.1 SPRINKLERED BUILDING)	(1006.2.1 SPRINKLERED BUILDING)
ASSEMBLY	75 FEET MAX.
BUSINESS (OFFICE)	100 FEET MAX.
S-1 STORAGE (MODERATE-HAZARD WAREHOUSE)	100 FEET MAX.

**RESTROOM SUMMARY**

FIXTURES REQUIRED (BASED ON CPC TABLE 422.1):

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OFFICE	7,246 S.F. / 200 = 36	2 / 2 = 18	1	2	1	1	1
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WAREHOUSE	92,344 S.F. / 5,000 = 18	2 / 2 = 9	1	1	0	1	1
TOTAL REQUIRED	3	5	2	3	3	3	3
TOTAL PROVIDED	3	7	4	5	5	4	2

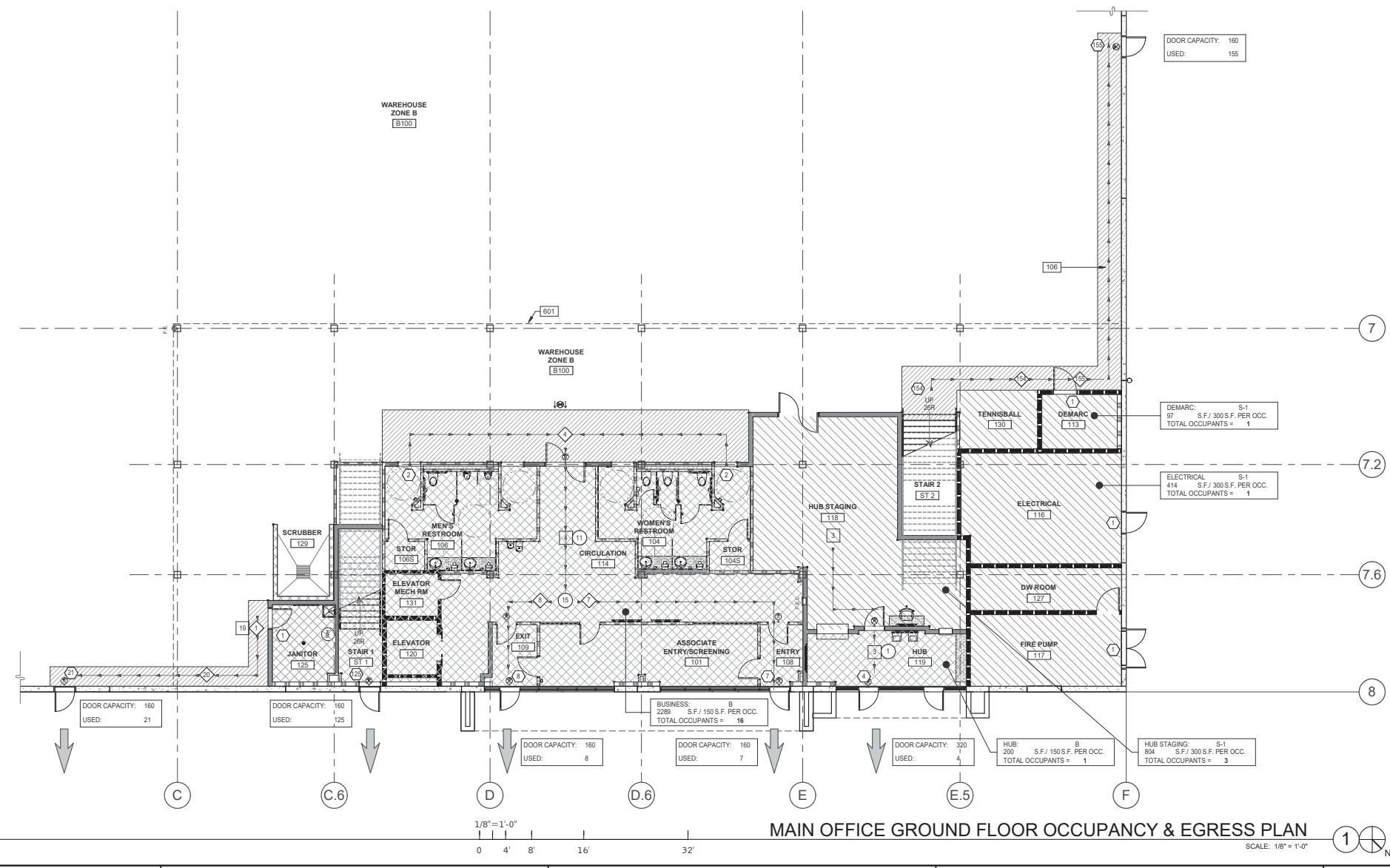
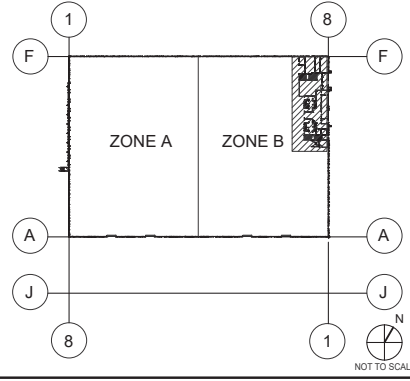
**LEGEND**

ASSEMBLY FUNCTION	2,897 S.F. / 15 = 193 (OL)
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MAXIMUM TRAVEL DISTANCE	
REQUIRED EXIT	

WALL-MOUNTED ILLUMINATED EMERGENCY EXIT SIGN ABOVE DOOR WITH BATTERY POWERED BACK-UP. SHADED QUADRANT INDICATES FACE OF LETTERING.

ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR.

**KEYPLAN**



**MAIN OFFICE GROUND FLOOR OCCUPANCY & EGRESS PLAN** SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

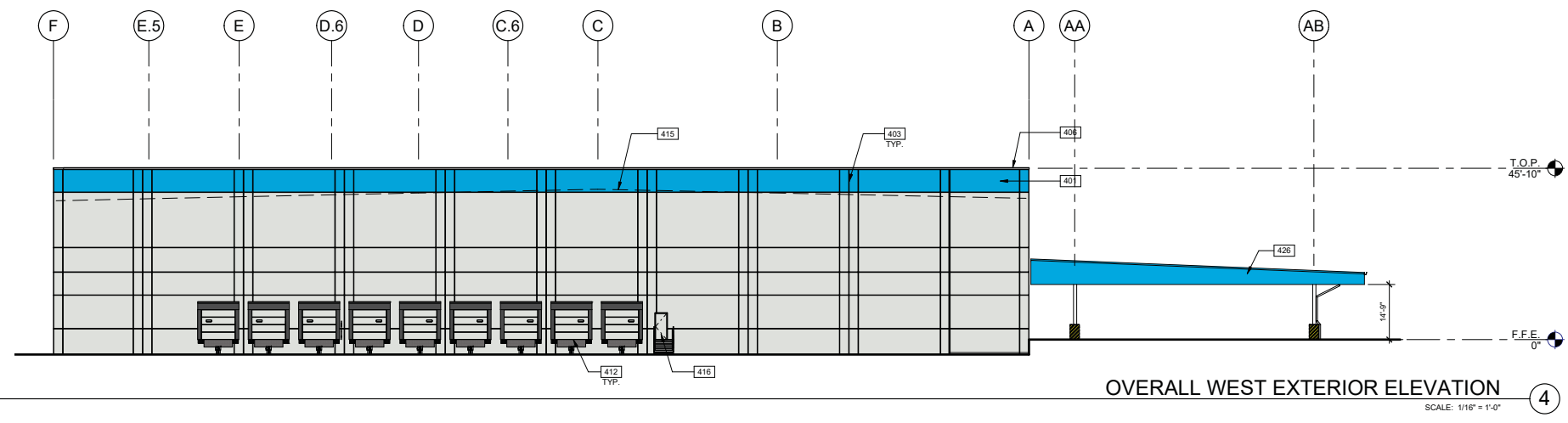
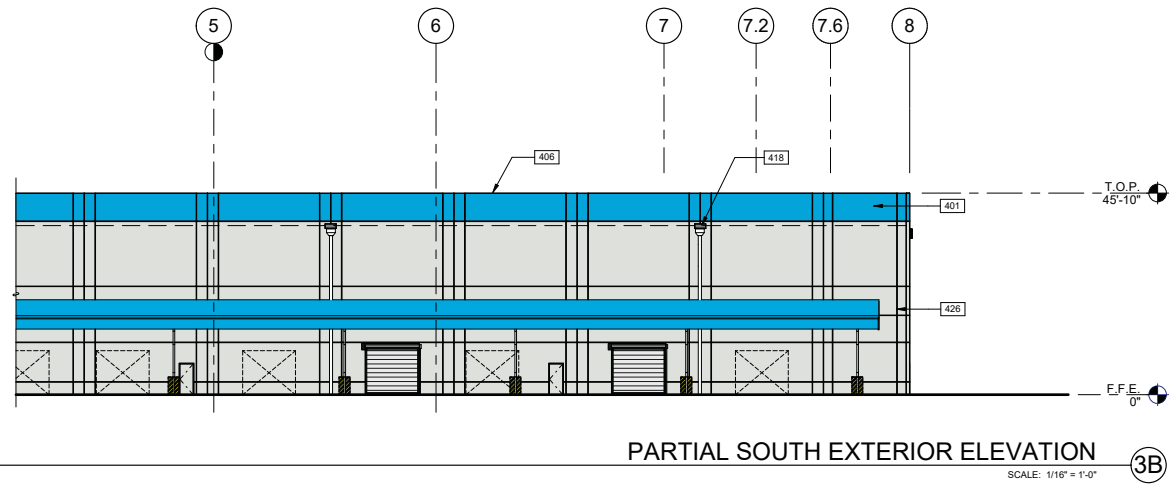
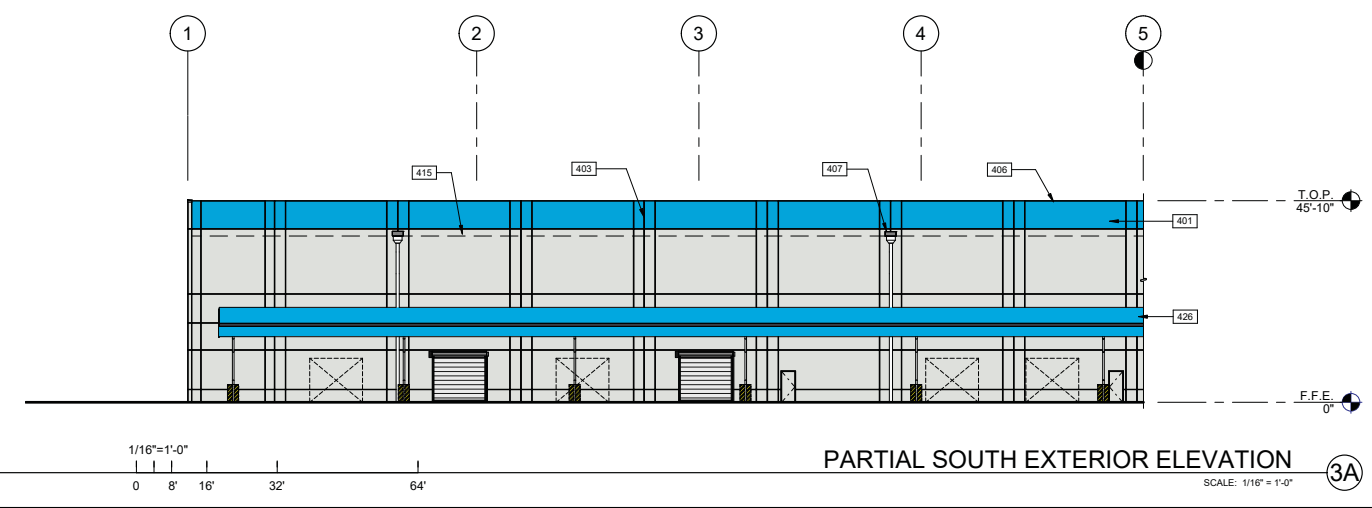
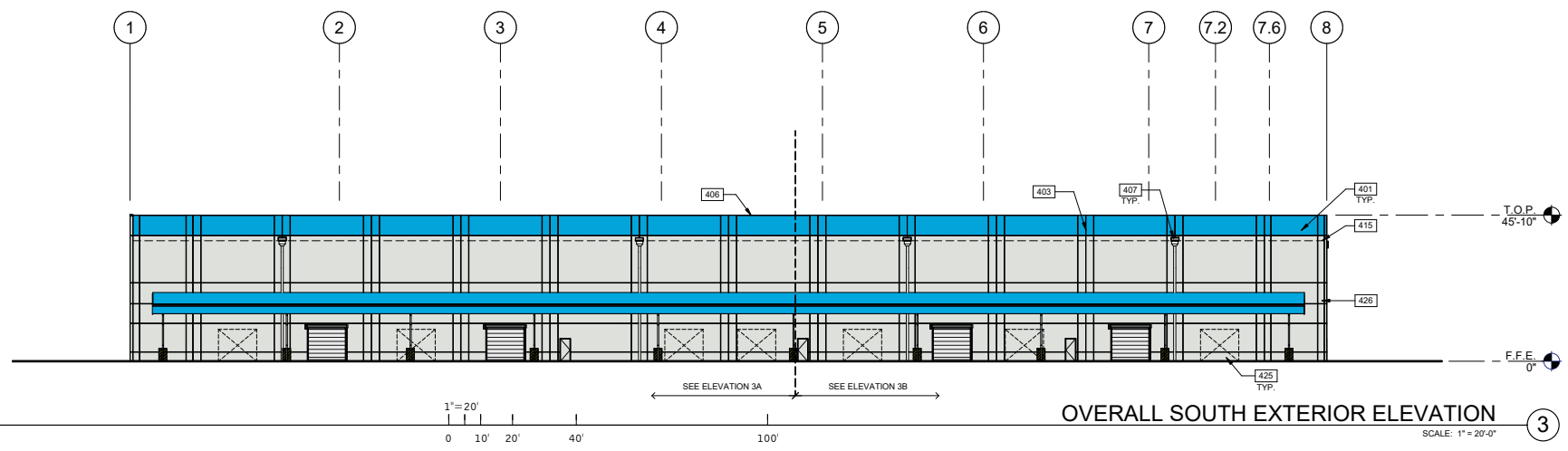
- SEE SHEET 00.2 & 00.2a FOR GENERAL NOTES
- SEE PLANS AND WALL SECTIONS FOR ROUGH OPENING LOCATION AND WINDOW TYPES.
  - SEE A6.106 FOR WINDOW TYPES.
  - ALL STOREFRONT GLAZING TO BE INSULATED GLAZING TYPE, UNLESS NOTED OTHERWISE.
  - VERIFY WITH AHJ FOR SITE REQUIREMENT FOR TEMPERED INSULATED GLAZING BEFORE IMPLEMENTING.
  - ALL FIXED INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS MAX U-FACTOR & SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENCY LICENSED BY THE NFRC, IN COMPLIANCE WITH THE VALUES LISTED IN THE DESIGN CRITERIA. PROVIDE AND COORDINATE KNOCKOUT LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL.
  - ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNLESS NOTED OTHERWISE.
  - CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL, TYP, UNLESS NOTED OTHERWISE.
  - ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM, TYP. SEE DOOR SCHEDULE.

**KEYNOTES :**

- 401 CONCRETE TILT WALL PANEL, PAINTED.
- 403 CONCRETE WALL JOINT.
- 406 PRE-FINISHED METAL COPING, MFRS STANDARD COLOR TO MATCH PAINT PT-1.
- 407 OVERFLOW SCUPPER.
- 412 HYDRAULIC DOCK LEVELER, PIT STYLE LEVELER.
- 415 LINE OF ROOF BEYOND.
- 416 PAINTED HOLLOW METAL DOOR AND FRAME.
- 418 PRE-FINISHED METAL SCUPPER, COLOR PAINTED PVC DOWNSPOUT TO MATCH ADJACENT WALL, TIGHT-LINE DOWNSPOUT TO STORM LINE. REFER TO CIVIL DWGS.
- 425 KNOCKOUT PANEL FOR FUTURE DRIVE-IN DOOR.
- 426 TRUCK LOADING DOCK CANOPY.

**LEGENDS**

- MATERIALS:**
- [Symbol] METAL CANOPY, PAINTED
  - [Symbol] VISION GLASS
  - [Symbol] SPANDREL GLASS
  - [Symbol] TEMPERED GLASS
- COLORS:**
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- [Symbol] ANODIZED ALUMINUM STOREFRONT SYSTEM
  - [PT-1] SECONDARY COLOR - PT-1 MANUFACTURER: SHERWIN WILLIAMS COLORINO: NEBULOUS WHITE / SW 7063
  - [PT-2] ACCENT COLOR - PT-2 MANUFACTURER: SHERWIN WILLIAMS COLORINO: GRAY MATTERS / SW7066
  - [PT-3] ACCENT COLOR - PT-3 MANUFACTURER: SHERWIN WILLIAMS COLORINO: TENANT BLUE. PANTONE (2995 C
  - [PT-4] BASE COLOR PT-4 MANUFACTURER: STANDARD COLORINO: BRIGHT WHITE
  - [PT-5] OSHA CAUTION YELLOW/ COLUMN BASE AND BLACK DIAGONAL STRIPES COLUMN PROTECTION
- NOTE: SEPARATE EXTERIOR PAINT SCHEDULE AND AN INTERIOR PAINT SCHEDULE IS PROVIDED. REFER TO A2.1 AND A2.2 FOR EACH SCHEDULE. REFER TO CRITERIA FOR MORE INFORMATION.
- EXTERIOR PAINT COLOR BASIS OF DESIGN IS SHERWIN WILLIAMS. ACCEPTABLE MANUFACTURERS ARE SHERWIN WILLIAMS, BENJAMIN MOORE, OR PPG.





**GENERAL NOTES**

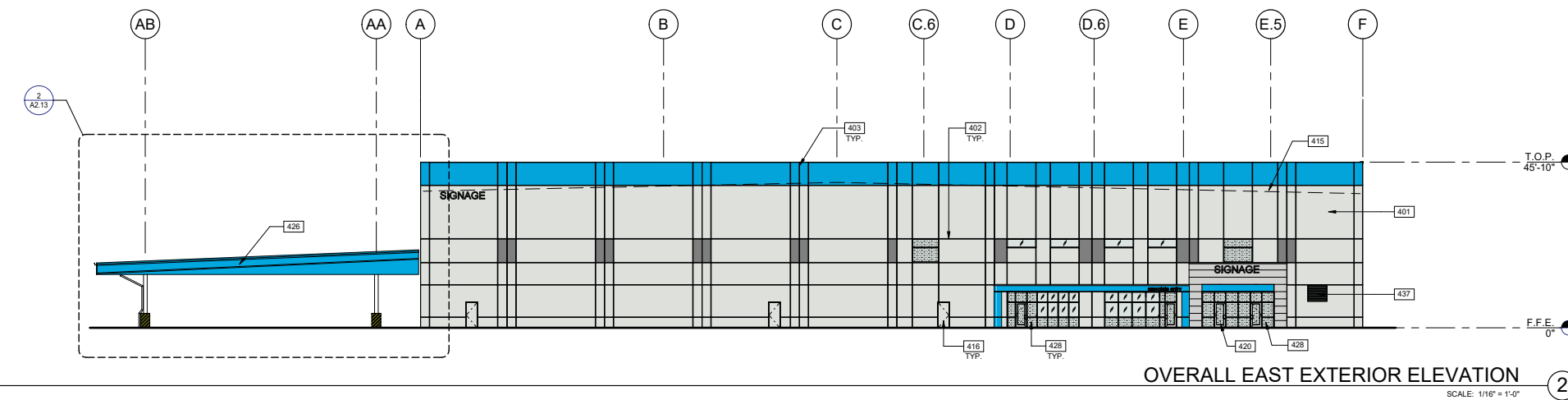
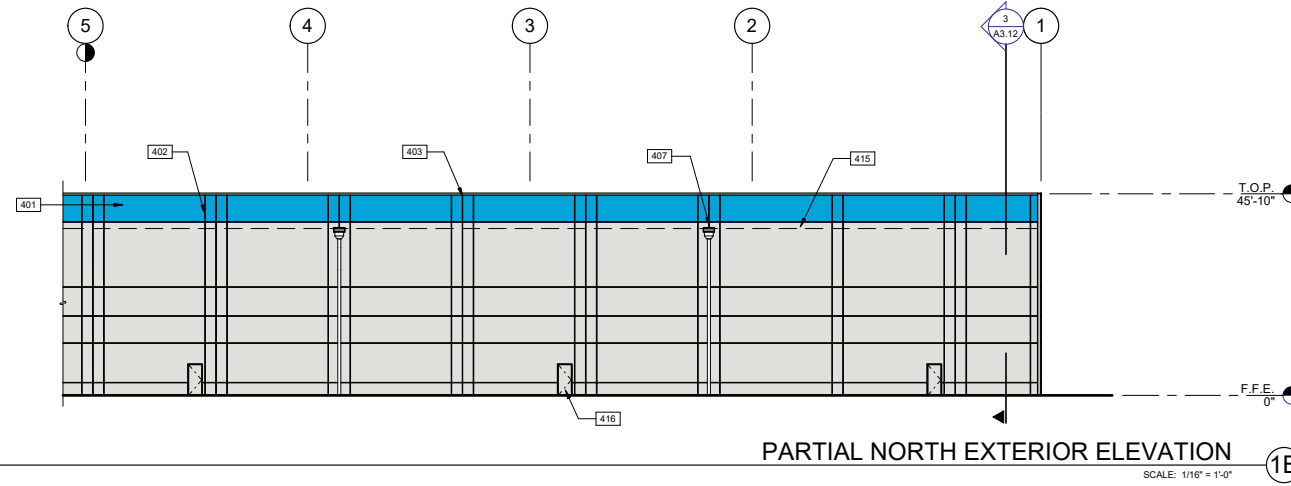
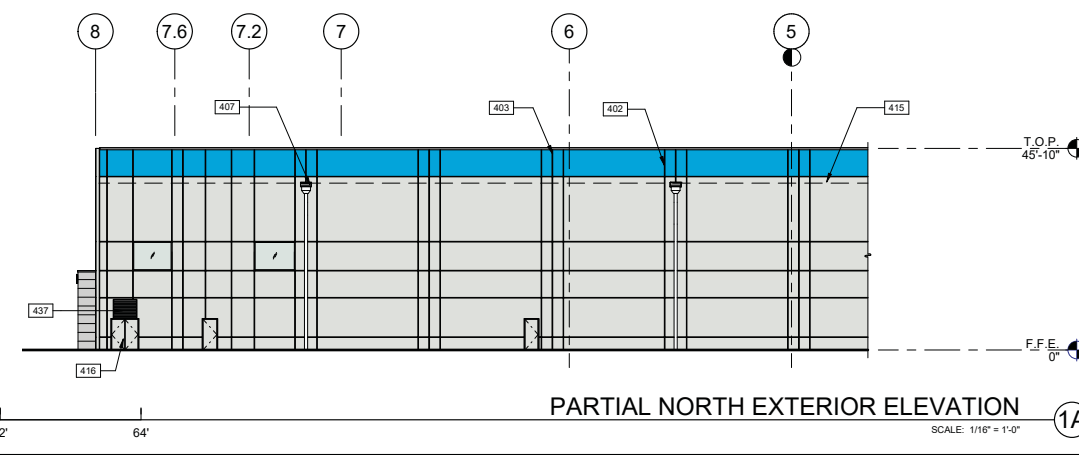
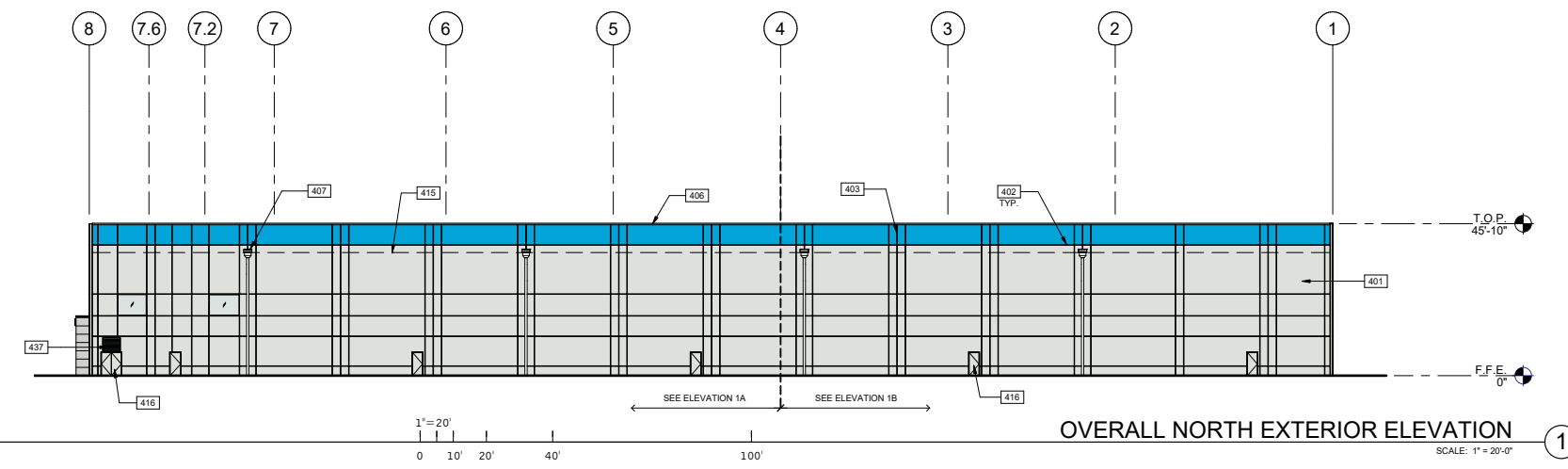
- SEE SHEET 00.2 & 00.2a FOR GENERAL NOTES
- SEE PLANS AND WALL SECTIONS FOR ROUGH OPENING LOCATION AND WINDOW TYPES.
  - SEE A6.105 FOR WINDOW TYPES.
  - ALL STOREFRONT GLAZING TO BE INSULATED GLAZING TYPE, UNLESS NOTED OTHERWISE.
  - VERIFY WITH AHJ FOR SITE REQUIREMENT FOR TEMPERED INSULATED GLAZING BEFORE IMPLEMENTING.
  - ALL FIXED INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS MAX U-FACTOR & SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENCY LICENSED BY THE NFRC, IN COMPLIANCE WITH THE VALUES LISTED IN THE DESIGN CRITERIA. PROVIDE AND COORDINATE KNOXBOX LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL.
  - ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNLESS NOTED OTHERWISE.
  - CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL, TYP, UNLESS NOTED OTHERWISE.
  - ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM, TYP. SEE DOOR SCHEDULE.

**KEYNOTES :**

- 401 CONCRETE TILT WALL PANEL, PAINTED.
- 402 V-REVEAL.
- 403 CONCRETE WALL JOINT.
- 406 PRE-FINISHED METAL COPING, MFRS STANDARD COLOR TO MATCH PAINT PT-1.
- 407 OVERFLOW SCUPPER.
- 415 LINE OF ROOF BEYOND.
- 416 PAINTED HOLLOW METAL DOOR AND FRAME.
- 420 ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM.
- 426 TRUCK LOADING DOCK CANOPY.
- 428 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM, TYP.
- 437 ALUMINUM LOUVER, PRIMED, FIELD FINISH TO MATCH PANEL.

**LEGENDS**

- MATERIALS:**
- [Symbol] METAL CANOPY, PAINTED
- GLASS:**
- [Symbol] VISION GLASS
  - [Symbol] SPANDREL GLASS
  - [Symbol] TEMPERED GLASS
- COLORS:**
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- [Symbol] ANODIZED ALUMINUM STOREFRONT SYSTEM
  - [Symbol] SECONDARY COLOR - PT-1  
MANUFACTURER: SHERWIN WILLIAMS  
COLORNO: NEBULOUS WHITE / SW 7063
  - [Symbol] ACCENT COLOR - PT-2  
MANUFACTURER: SHERWIN WILLIAMS  
COLORNO: GRAY MATTERS / SW7066
  - [Symbol] ACCENT COLOR - PT-3  
MANUFACTURER: SHERWIN WILLIAMS  
COLORNO: TENANT BLUE, PANTONE (2995 C
  - [Symbol] BASE COLOR PT-4  
MANUFACTURER: STANDARD  
COLORING: BRIGHT WHITE
  - [Symbol] OSHA CAUTION YELLOW COLUMN BASE AND BLACK DIAGONAL STRIPES COLUMN PROTECTION
- NOTE: SEPARATE EXTERIOR PAINT SCHEDULE AND AN INTERIOR PAINT SCHEDULE IS PROVIDED. REFER TO A2.1 AND A2.2 FOR EACH SCHEDULE. REFER TO CRITERIA FOR MORE INFORMATION.
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civil engineering

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Irvine, CA 92618  
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**PROJECT SUMMER**

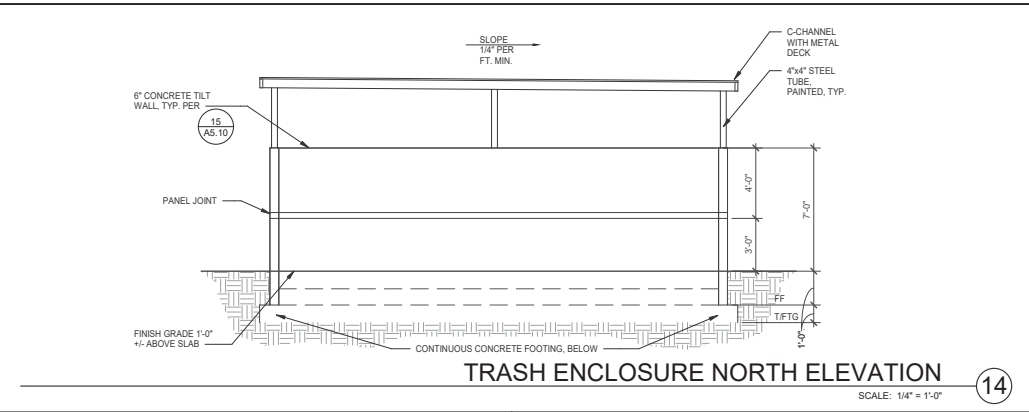
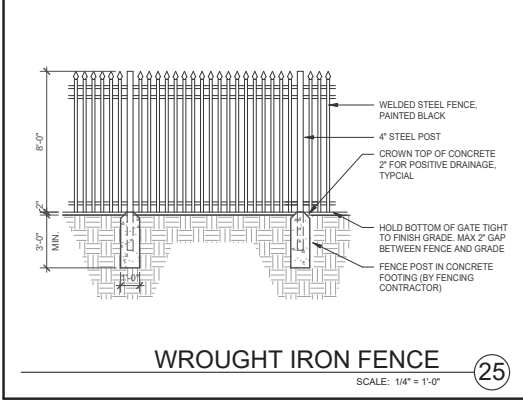
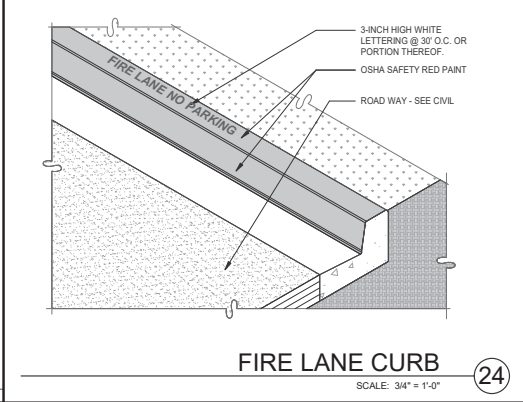
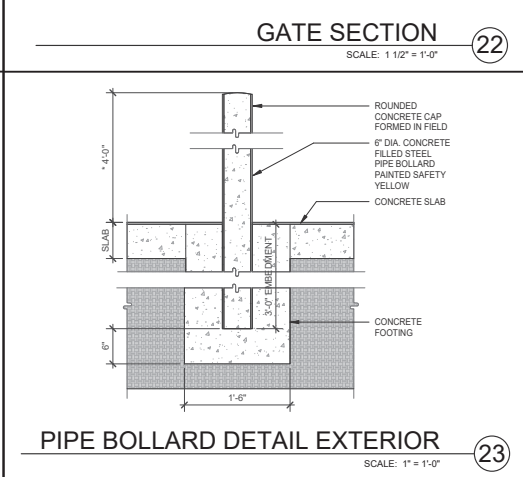
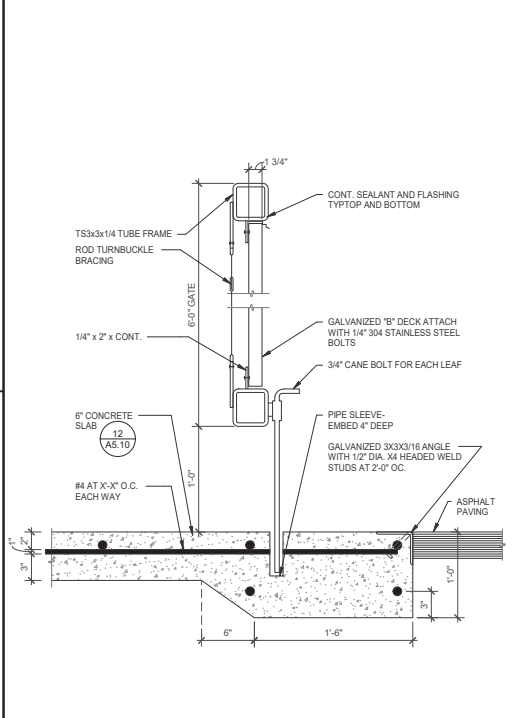
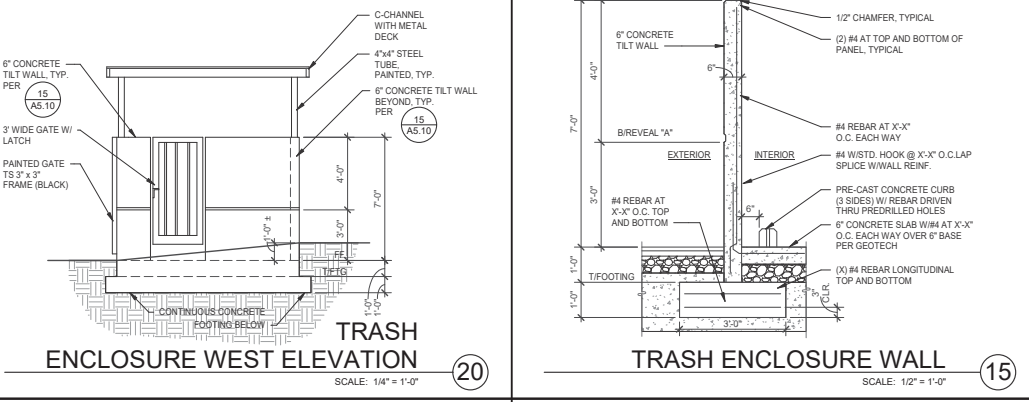
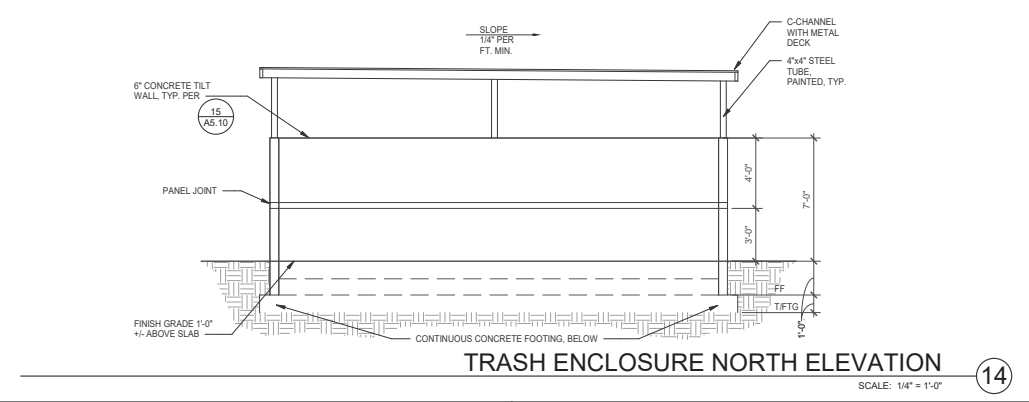
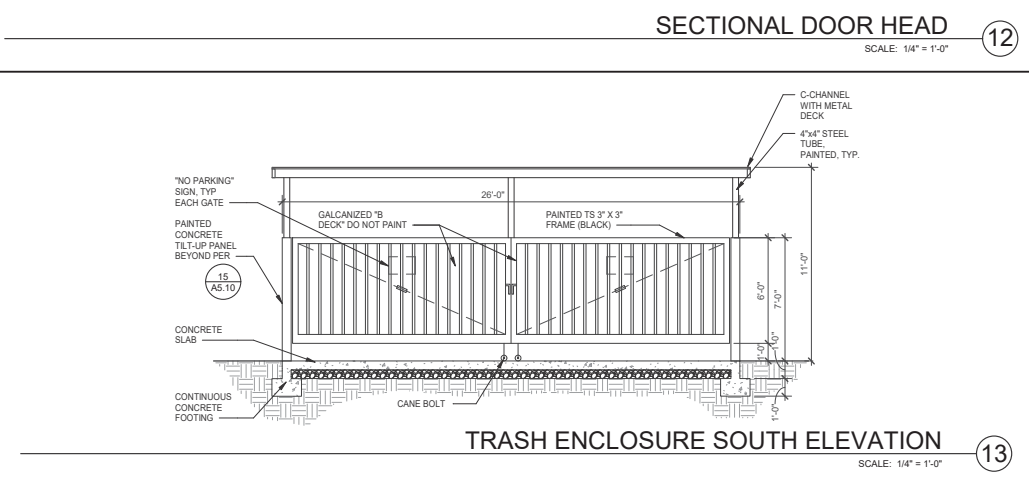
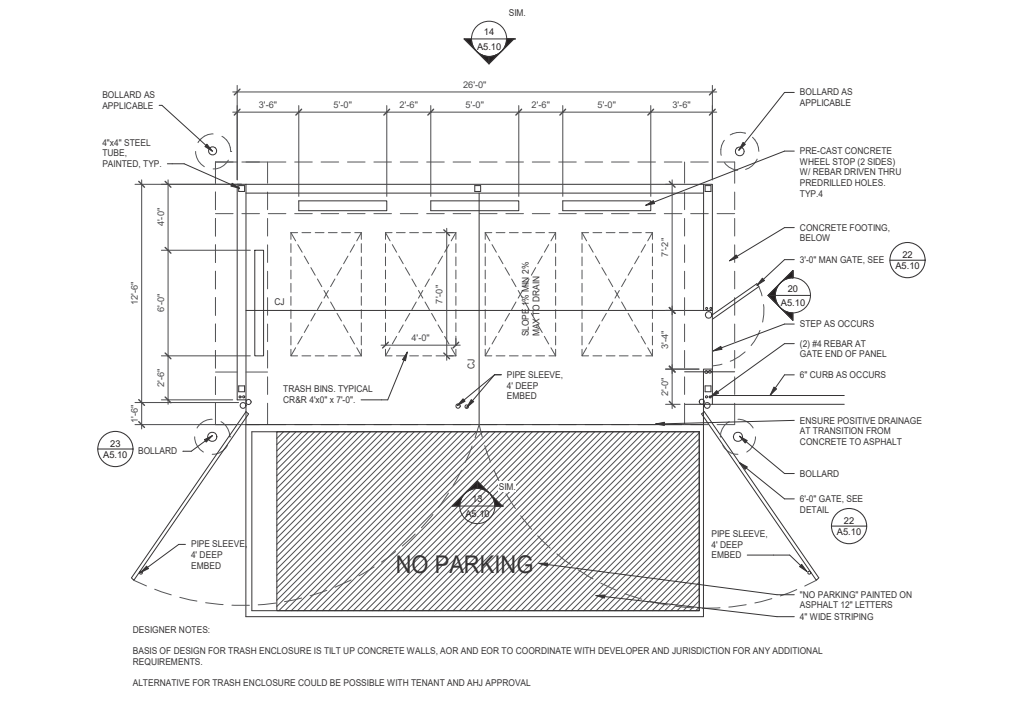
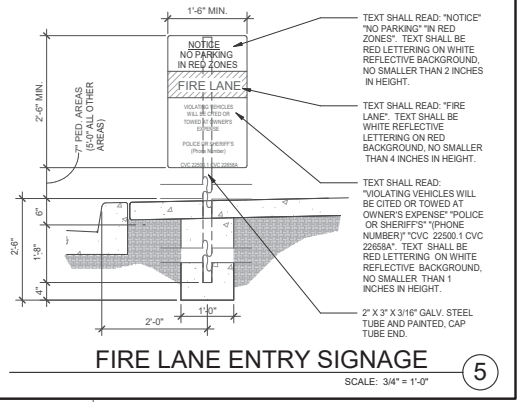
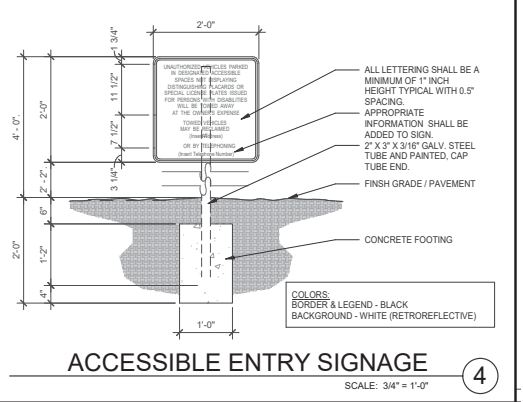
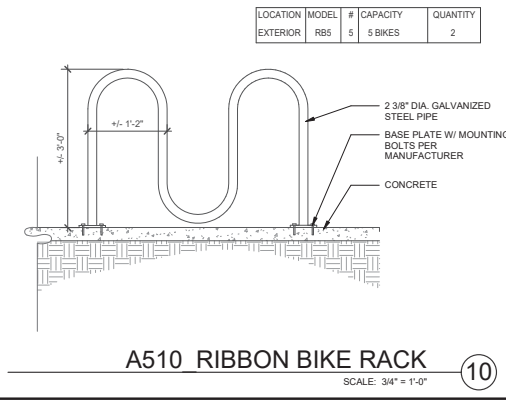
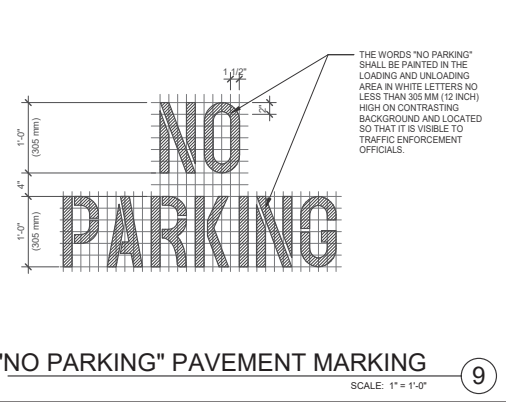
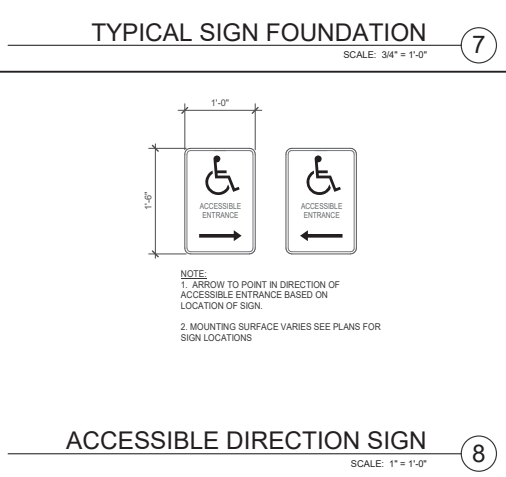
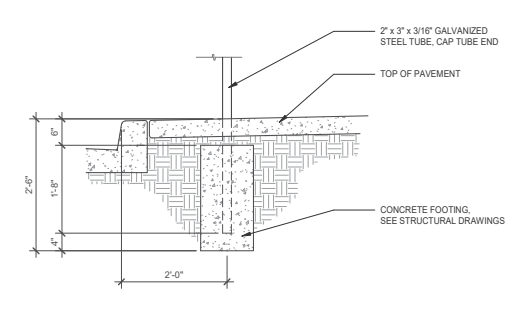
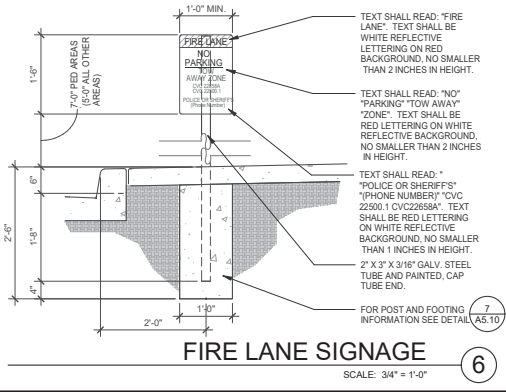
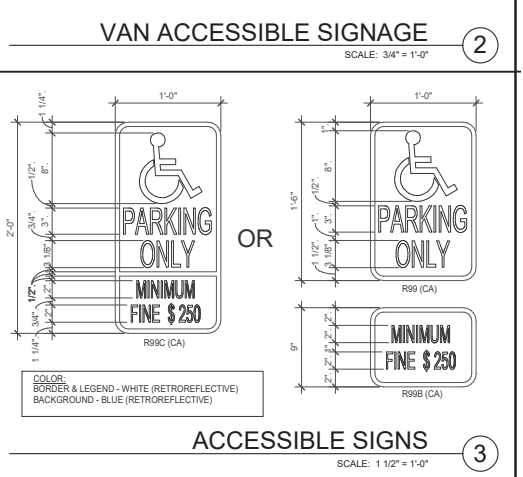
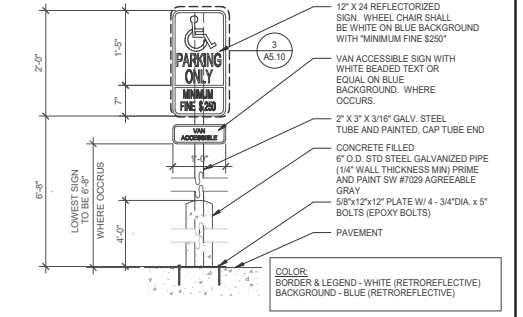
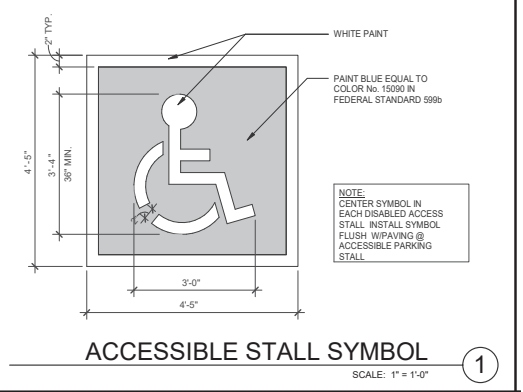
**CALLE SOMBRA**  
SAN CLEMENTE, CALIFORNIA 92672

**SITE DETAILS**

DATE	REVISIONS
03/16/2021 <td>DISCRETIONARY PERMIT REVIEW </td>	DISCRETIONARY PERMIT REVIEW

P/PM: N. PATEL  
DRAWN BY: J.E.  
JOB NO.: IRV20-5040-00

SHEET  
**A5.10**  
5/4/2021 4:03:54 PM

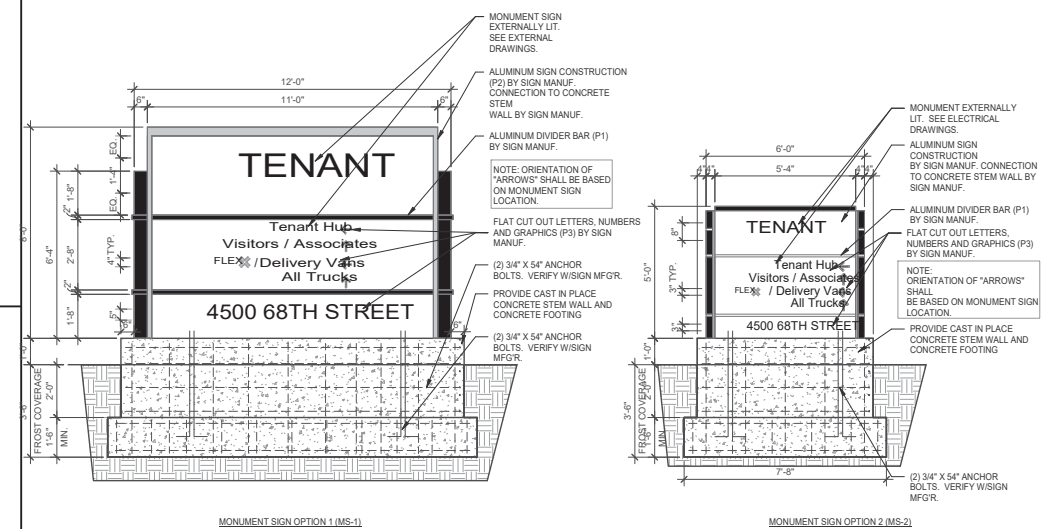


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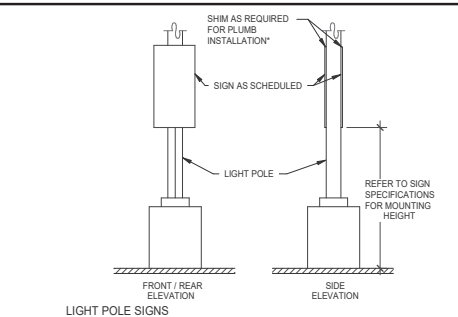


SITE DETAILS	
DATE	REMARKS
03/16/2021	DISCRETIONARY PERMIT REVIEW

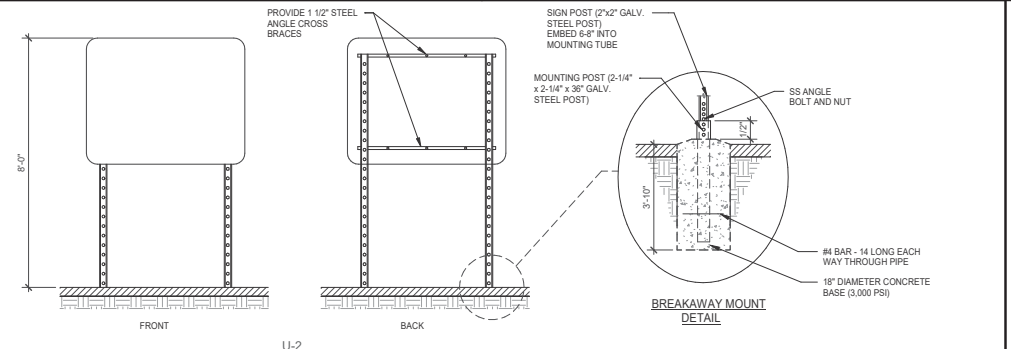
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DRAWN BY:	J. E.
JOB NO.:	IRV20-5040-00



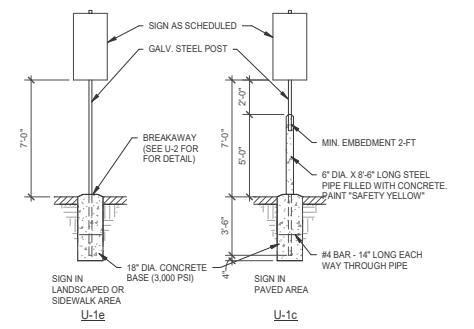
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SCALE: 3/8" = 1'-0" ⑫



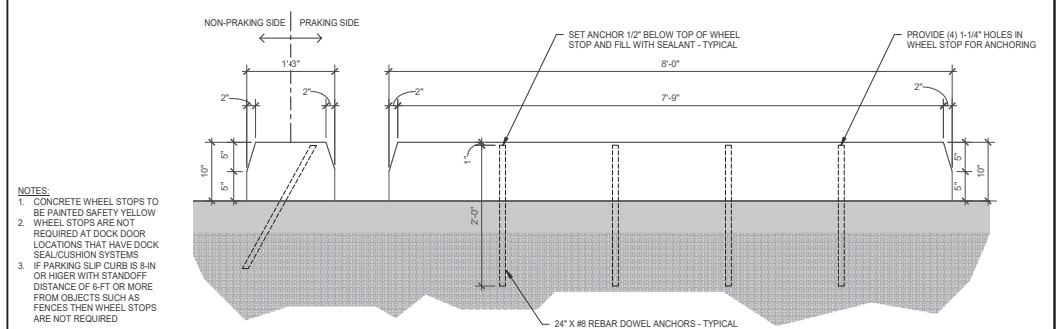
**LIGHT POLE SIGN**  
SCALE: 1/2" = 1'-0" ⑥



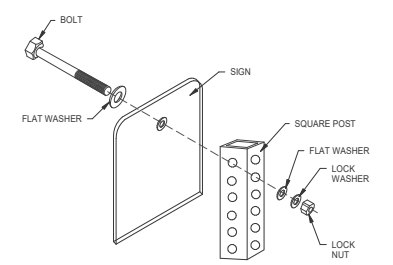
**LIGHT POLE SIGN U-2**  
SCALE: 1/2" = 1'-0" ②



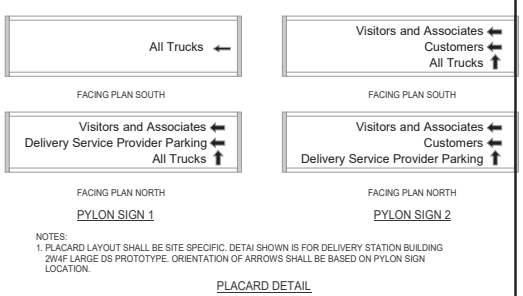
**LIGHT POLE SIGN U-1**  
SCALE: 1/2" = 1'-0" ⑬



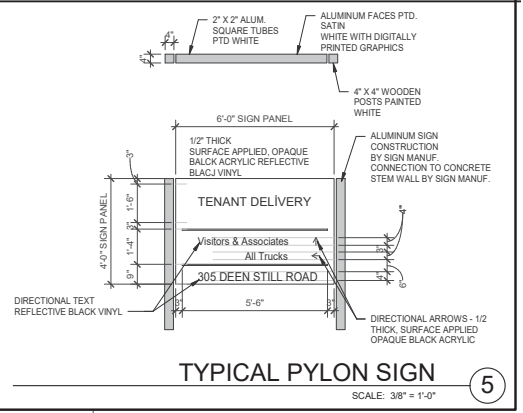
**CONCRETE TRUCK WHEEL STOP**  
SCALE: 1" = 1'-0" ③



**SIGN ATTACHMENT DETAIL**  
SCALE: 1/2" = 1'-0" ⑨



**SITE SIGNS**  
SCALE: 1/4" = 1'-0" ④



**TYPICAL PYLON SIGN**  
SCALE: 3/8" = 1'-0" ⑤



**SUMMARY DATA**

TOTAL LANDSCAPE AREA: 120,308 s.f.

PROJECT TYPE: PRIVATE INDUSTRIAL

WATER SOURCE: RECLAIMED

- NOTES:**
- FOR EXISTING TREES ON SITE SEE CIVIL PLANS.
  - CONTRACTOR TO OBTAIN TREE REMOVAL PERMIT PRIOR TO REMOVAL OF ANY TREE.
  - INSTALL ROOT BARRIERS LINEARLY AGAINST THE PAVING EDGE WHERE TREES ARE WITHIN 5'-0" OF PAVEMENT OR BUILDING.
  - PROVIDE 9 CUBIC YARDS OF CERTIFIED ORGANIC AMENDMENT PER 1000 SQ. FT. FOR ALL PLANTING AREAS AT A RATIO OF 1:4 TO THE DEPTH OF NINE INCHES OF SOIL BEING THOROUGHLY INCORPORATED. ADDITIONAL OR AMENDED SOIL AMENDMENT MIX SHALL BE RECOMMENDED BY A SOIL LABORATORY UPON A SOIL TEST.
  - MULCH SHALL BE ORGANIC RECYCLED CHIPPED WOOD, DARK BROWN COLOR AT 3 INCH DEPTH.

- NOTE:**
- I HAVE COMPLIED WITH THE CRITERIA OF MODEL EFFICIENT LANDSCAPE ORDINANCE (MWELO) AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

**TREE LEGEND - SUNSET ZONE 22**

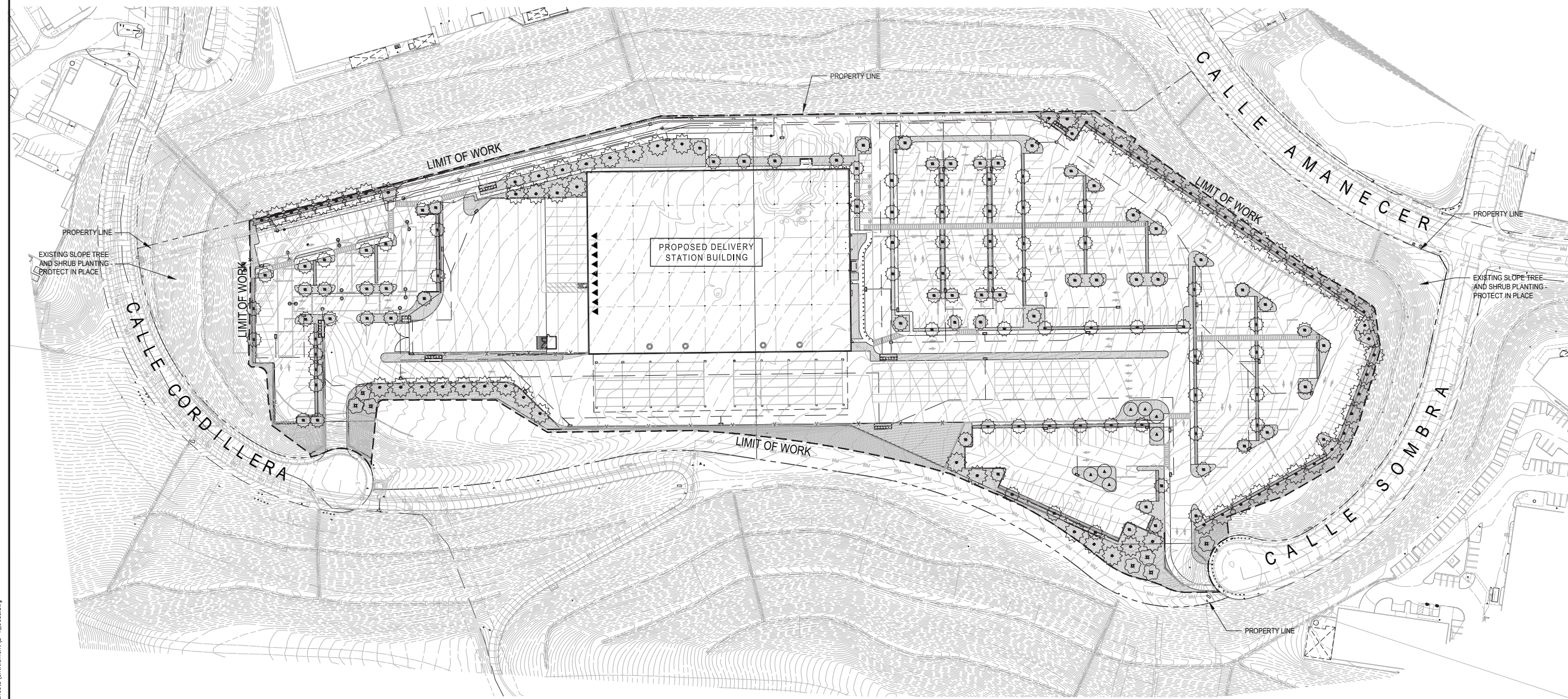
SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	REMARKS
▲	<i>Arbutus x Marina</i>	Strawberry Tree	24" Box	Per Plan	-	Low	Multi-trunk, 7'-0" min. branching height, Matching
□	<i>Eucalyptus sideroxylon</i>	Red Ironbark	15 Gal.	Per Plan	-	Low	-
●	<i>Pinus halepensis</i>	Aleppo Pine	24" Box	Per Plan	-	Low	-
■	<i>Podocarpus gracilior</i>	Fern Tree	24" Box	Per Plan	-	Moderate	Standard

**SHRUB LEGEND - SUNSET ZONE 22**

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	REMARKS
□	<i>Dietses indioides</i>	Fortnight Lily	5 Gal.	30" o.c.	-	Low	-
□	<i>Heteromeles arbutifolia</i>	Toyon	15 Gal.	60" o.c.	-	Low	-
□	<i>Callistemon 'Little John'</i>	Dwarf Bottlebrush	1 Gal.	30" o.c.	-	Low	-
□	<i>Raphiolepis indica 'Clara'</i>	Clara Indian Hawthorn	1 Gal.	36" o.c.	-	Low	-

**GROUND COVER LEGEND - SUNSET ZONE 22**

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	REMARKS
□	<i>Acacia redolens 'Desert Carpet'</i>	Prostrate Acacia	1 Gal.	48" o.c.	-	Low	-
□	<i>Carissa macrocarpa 'Green Carpet'</i>	Natal Plum	1 Gal.	30" o.c.	-	Moderate	-
□	<i>Lonicera japonica</i>	Japanese Honeysuckle	1 Gal.	36" o.c.	-	Low	-
□	<i>Rosmarinus officinalis 'Prostratus'</i>	Prostrate Rosemary	1 Gal.	36" o.c.	-	Low	-



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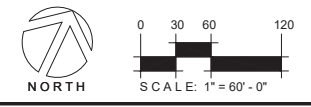
**PROJECT SUMMER**  
RANCHO SAN CLEMENTE TRAIL  
SAN CLEMENTE, CALIFORNIA 92672

**CONCEPTUAL PLANTING PLAN**

DATE	REMARKS
4/30/2021	MASTER PLAN RESUBMITTAL

PA / PM:	
DRAWN BY:	
JOB NO.:	IRV20-5040-00

SHEET  
**L-1**  
May 2021



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IRRIGATION CALCULATIONS



SECTION F. WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required item of the Landscape Documentation Package.

Landscape Area Sector Type (Select one):  
 Residential (0.55)  
 Non-residential (0.45)

Reference Evapotranspiration (ET<sub>0</sub>): 55.1

Hydrozone #/Planting Description	Location	Plant Factor* (PF)	Irrigation Method*	Irrigation Efficiency* (IE)	ETAF* (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Used (ETWU)
1 Low shrub parking lot		0.3	SP	0.81	0.37	80,374	29,738	489,201
2 Med. shrub parking lot		0.4	SP	0.81	0.49			
3 Med. shrub slopes		0.4	SP	0.75	0.53	38,760	19,478	345,726
4 Low Trees parking lot		0.3	Bubblers	0.75	0.4	768	307	9,180
5 Med. Trees parking lot		0.4	Bubblers	0.75	0.53	2,416	1,280	38,507
6								
7								
8								
9								
10								
11								
12								
					Avg. Total	Total		
					0.48	120,308	55,341	

Average ETAF for regular Landscape Area\* (circle one): 0.48 Not in Compliance

Special Landscape Area	Area (sq. ft.)	ETAF	ETWU
SLA-1			
SLA-2			
SLA-3			
SLA-4			
SLA-5			
Totals	204,963	75.584	155,268
		Total Landscape Area	130,588
		Site wide ETAF	55.341
		ETWU Total	1,322,448
		Maximum Allowed Water Allowance (MAWA)	1,813,279

IRRIGATION SYSTEM OVERVIEW

THE IRRIGATION SYSTEM WILL BE SUPPLIED WITH RECYCLED WATER FROM NEW IRRIGATION-USE WATER METER. THE WATER METER WILL OPERATE A DEDICATED, REDUCED-PRESSURE TYPE BACKFLOW PREVENTER ASSEMBLY TO PROTECT THE RECLAIMED SYSTEM.

THE IRRIGATION SYSTEM WILL UTILIZE A HIGH EFFICIENCY IRRIGATION SYSTEM TO INCLUDE A SMART CONTROLLER, DRIP IRRIGATION AND POP-UP LOW SPRINKLERS. TREES WILL BE IRRIGATED ON A SEPARATE BUBBLER SYSTEM FOR DEEP ROOT WATERING.

ALL IRRIGATION SYSTEMS ON THE SITE SHALL BE DESIGNED TO PREVENT RUNOFF, OVER-SPRAY, LOW HEAD DRAINAGE AND OTHER SIMILAR CONDITIONS WHERE WATER FLOWS OUT OF THE DESIGNATED LANDSCAPE AREA.

IRRIGATION HYDROZONE LEGEND

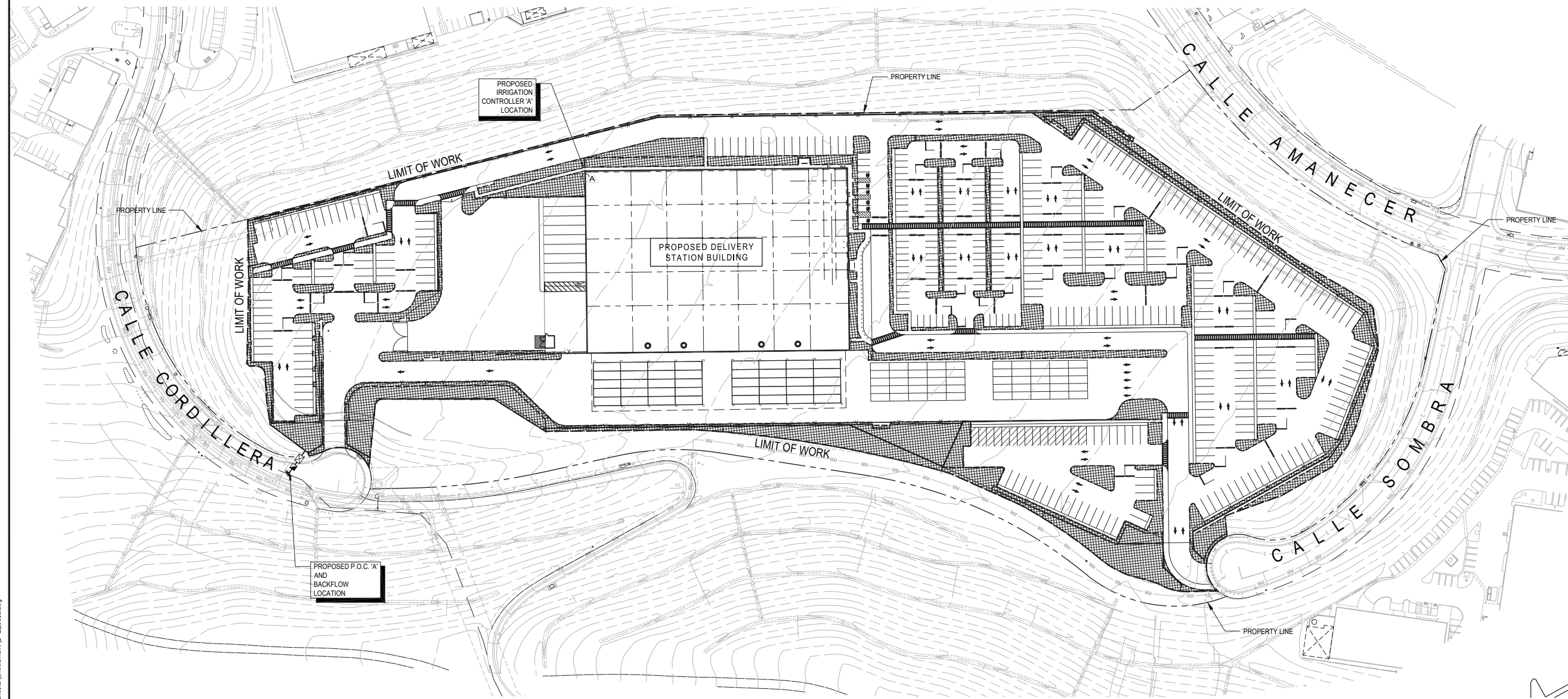
SYMBOL	DESCRIPTION
	LOW WATER USE PLANT MATERIAL WITH SUBSURFACE DRIP IRRIGATION

LEGEND

SYMBOL	DESCRIPTION
	IRRIGATION POINT-OF-CONNECTION - WATER METER FOR IRRIGATION SERVICE PROVIDED BY CIVIL ENGINEER (PROPOSED LOCATIONS TO BE CONFIRMED)
	REDUCED PRESSURE BACKFLOW PREVENTER (PROPOSED LOCATIONS TO BE CONFIRMED)
	IRRIGATION 'SMART' CONTROLLER (PROPOSED LOCATIONS TO BE CONFIRMED)

IRRIGATION DESIGN INTENT

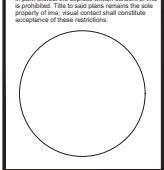
CONSUMING WATER FOR IRRIGATION IN EXCESSIVE AMOUNTS HAS BECOME MORE EXPENSIVE. THE PROPOSED PROJECT'S IRRIGATION SYSTEM WILL BE DESIGNED TO COMPLY WITH THE STATE OF CALIFORNIA WATER CONSERVATION IN LANDSCAPING ACT 2006 AND THE CALIFORNIA CODE OF REGULATIONS TITLE 23, DIVISION 2, CHAPTER 2.7, AND EXECUTIVE ORDER B-26-15.



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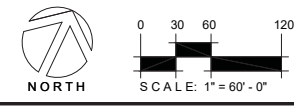


**PROJECT SUMMER**  
 RANCHO SAN CLEMENTE TRAIL  
 SAN CLEMENTE, CALIFORNIA 92672

CONCEPTUAL IRRIGATION PLAN	
DATE	REMARKS
4/30/2021	MASTER PLAN RESUBMITTAL

PA / PM:  
 DRAWN BY:  
 JOB NO.: IRV20-5040-00

SHEET  
**L-2**



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